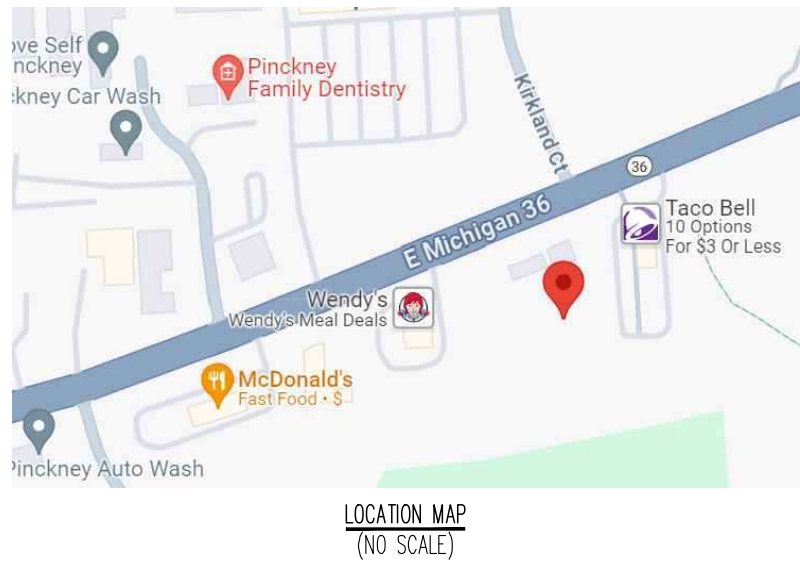
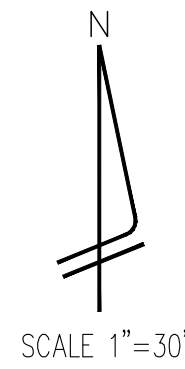


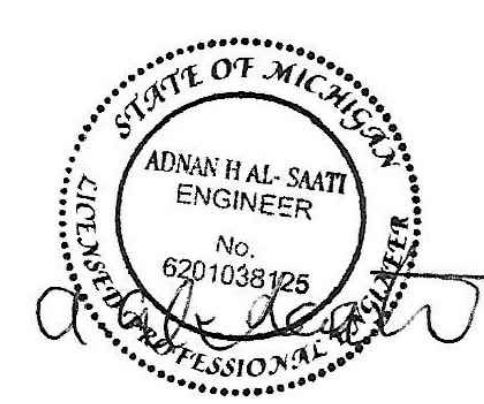


BENCH MARKS
B.M. #1: RM OF STORM MANHOLE
ELEVATION= 891.82 (NAVD88)
B.M. #2: RM OF SANITARY MANHOLE
ELEVATION= 893.39 (NAVD88)

THE LAND IS DESCRIBED AS FOLLOWS:
SITUATED IN THE TOWNSHIP OF PUTNAM, COUNTY OF LIVINGSTON AND STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
PARCEL 1:
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST, PUTNAM TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING 322.6 FEET NORTH 84 DEGREES 45 MINUTES EAST FROM THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 23; THENCE NORTH 84 DEGREES 45 MINUTES EAST 116.4 FEET; THENCE NORTH 2 DEGREES 30 MINUTES WEST 390 FEET TO THE CENTERLINE OF HIGHWAY M-36; THENCE SOUTH 68 DEGREES 30 MINUTES WEST 121 FEET ALONG THE CENTERLINE OF SAID HIGHWAY M-36; THENCE SOUTH 2 DEGREES 30 MINUTES EAST 350 FEET TO THE POINT OF BEGINNING.
PARCEL 2:
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 4 EAST, PUTNAM TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING 439 FEET NORTH 84 DEGREES 45 MINUTES EAST FROM THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 23; THENCE NORTH 84 DEGREES 45 MINUTES EAST 107 FEET; THENCE NORTH 2 DEGREES 30 MINUTES WEST 424 FEET TO THE CENTERLINE OF HIGHWAY M-36; THENCE SOUTH 68 DEGREES 30 MINUTES WEST 111 FEET ALONG THE CENTERLINE OF SAID HIGHWAY M-36; THENCE SOUTH 2 DEGREES 30 MINUTES EAST 390 FEET TO THE POINT OF BEGINNING.

EXISTING	PROPOSED	AMERITECH	LANDSCAPE	ASPHALT

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE WE CAN NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.



		SURVEY TECH.	
LAND SURVEYING		CIVIL ENGINEERING	
3253 LYNHURST CT, OAKLAND, MI 48306		TEL (248) 670-6556	
TOPOGRAPHIC SURVEY			
PROPRIETOR: MARCO LYTWYN			
SCALE: 1"=30'	DATE: 01-18-2024	JOB # : 24103	SHEET: S-1
DRAWN BY: M.M.F	CHECKED BY: M.M.F	APPROVED BY:	

DATE/REVISION:	REV.	ISSUE DATE
REVIEW		10/02/25
REVIEW		10/07/25
SPECIAL_LAND_USE		10/08/25

DRAWN	B.K.
CHECKED	H.B.
APPROVED	H.B.

KEY PLAN:

PROJECT:

759 EAST PINCONNING LLC

1268 E. M-36, PINCKNEY MI,
48169

SHEET TITLE:

ARCHITECTURAL SITE
PLAN

PROJECT NUMBER:
2025-078

SHEET NUMBER:

AS-100

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GENERAL NOTES:

- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BE FREE OF INSECTS AND DISEASES, CONFORM TO THE CURRENT MINIMUM STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PROOF OF ANY REQUIRED GOVERNMENTAL REGULATIONS AND/OR INSPECTIONS. ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE STAKED IN THE FIELD AND SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR THE LANDSCAPE ARCHITECT.
- SEE DETAILS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
- PLANT MATERIAL SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR. THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS DURING THE WARRANTY PERIOD. DURING OR AT THE END OF THE WARRANTY PERIOD, ANY PLANT MATERIAL WITH 25% DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS.
- ALL SODDED AND HYDROSEEDDED AREAS TO RECEIVE 4" TOPSOIL.
- TOPSOIL SHALL BE FRIABLE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- SEED MIX SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

KENTUCKY BLUE GRASS	60%
CHEWING FESCUE	15%
CREeping RED FESCUE	15%
PERENNIAL RYE GRASS	10%

THE MIX SHALL BE APPLIED AT A RATE OF 200 LB5./ACRE # WILL BE APPLIED TO ALL EXPOSED AREAS WITHIN PROPERTY LINES.
- ALL PLANTING SHALL MEET NEW BUFFALO TWP. REQUIREMENTS.
- ALL LANDSCAPED AREAS TO RECEIVE IRRIGATION SYSTEM.

MAINTENANCE SCHEDULE:

- THE OWNER OF LANDSCAPING SHALL PERPETUALLY MAINTAIN SUCH LANDSCAPING IN GOOD CONDITION SO AS TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE, FREE FROM REFUSE AND DEBRIS.
- THE OWNER SHALL CONDUCT A SEASONAL LANDSCAPE MAINTENANCE PROGRAM INCLUDING REGULAR LAWN CUTTING (AT LEAST ONCE A WEEK DURING THE GROWTH SEASON), PRUNING AT APPROPRIATE TIMES, WATERING AND SNOW REMOVAL DURING THE WINTER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF ALL SEED AREAS UNTIL A MINIMUM OF NINETY PERCENT (90%) COVERAGE, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- ANY DEAD, DISEASED OR DAMAGED PLANTINGS SHALL BE REMOVED FROM THE SITE AND REPLACED ON AN ANNUAL BASIS.
- ALL DISEASED AND/OR DEAD MATERIAL SHALL BE REMOVED WITHIN SIXTY (60) DAYS FOLLOW NOTIFICATION AND SHALL BE REPLACED WITHIN THE NEXT APPROPRIATE PLANTING SEASON WITHIN SIX (6) MONTHS, WHICHEVER COMES FIRST.
- ANY DEBRIS SUCH AS LAWN CLIPPINGS, FALLEN LEAVES, FALLEN LIMBS, AND LITTER SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS AT THE APPROPRIATE SEASON.
- ALL PLANTING BEDS SHALL BE MAINTAINED BY REMOVING WEEDS, FERTILIZING, AND REFRESHING MULCH AS NEEDED.
- ANNUAL BEDS SHALL BE KEPT FREE AND MULCHED WITH SPHAGNUM PEAT AS NEEDED.

SITE CRITERIA

STREET ADDRESS: 1268 E. M-36
PINCKNEY, MI 48169
ZONING: SECONDARY BUSINESS DISTRICT
USE: RECREATIONAL MARIHUANA DISPENSARY
PARCEL NUMBER: 14-23-400-008
LEGAL DESCRIPTION: SEC 23 T1N R4E COMM E 1/4 COR TH 500°20'19"E 587.39 FT TH 570° 34'10"W 595.63 FT TH 571°05'37"W 316 FT TO POB, TH 500°35'00"E 392.83 FT TH 587° 16'07"W 116.4 FT TH 100°21'06"E 359.15 FT TH N71°05'37"E 121 FT TO POB. .997 AC ML REDESCRIBED BY SURVEY 5-06

SCHEDULE OF REGULATIONS

ITEM	REQUIRED	PROVIDED	SECTION
MIN LOT AREA:	50,000 SF	86,798.61 SF	152.183
MIN LOT WIDTH:	66'	212'	152.183
FRONT SETBACK:	25'	185.21'	152.183
SIDE SETBACK:	15'	43.53'	152.183
SIDE SETBACK:	0'	0.00'	152.183
REAR SETBACK:	20'	154.83'	152.183
MAX LOT COVERAGE:	50%	4.5%	152.183
MAX STRUCTURE HEIGHT:	2-1/2 STORIES	1 STORY	152.183
MAX STRUCTURE HEIGHT:	35'	17'-4"	152.183

PARKING, LOADING, AND ACCESS MANAGEMENT

ITEM	REQUIRED	PROVIDED	SECTION
MAX NUMBER OF SPACES			
RETAIL 1/300 SF:	1,770/300=6		152.283
RETAIL 1/300 SF:	902/300=3		152.283
EXISTING RETAIL 1/300 SF:	3,094/300=10		152.283
TOTAL MAX	19x1.5=29	36	
BARRIER FREE SPACES: 0 TO 25		2	
VAN ACCESSIBLE SPACES: 1/6		1	
OFF STREET LOADING:	1 SPACE	1	152.284

LANDSCAPING REQUIREMENTS

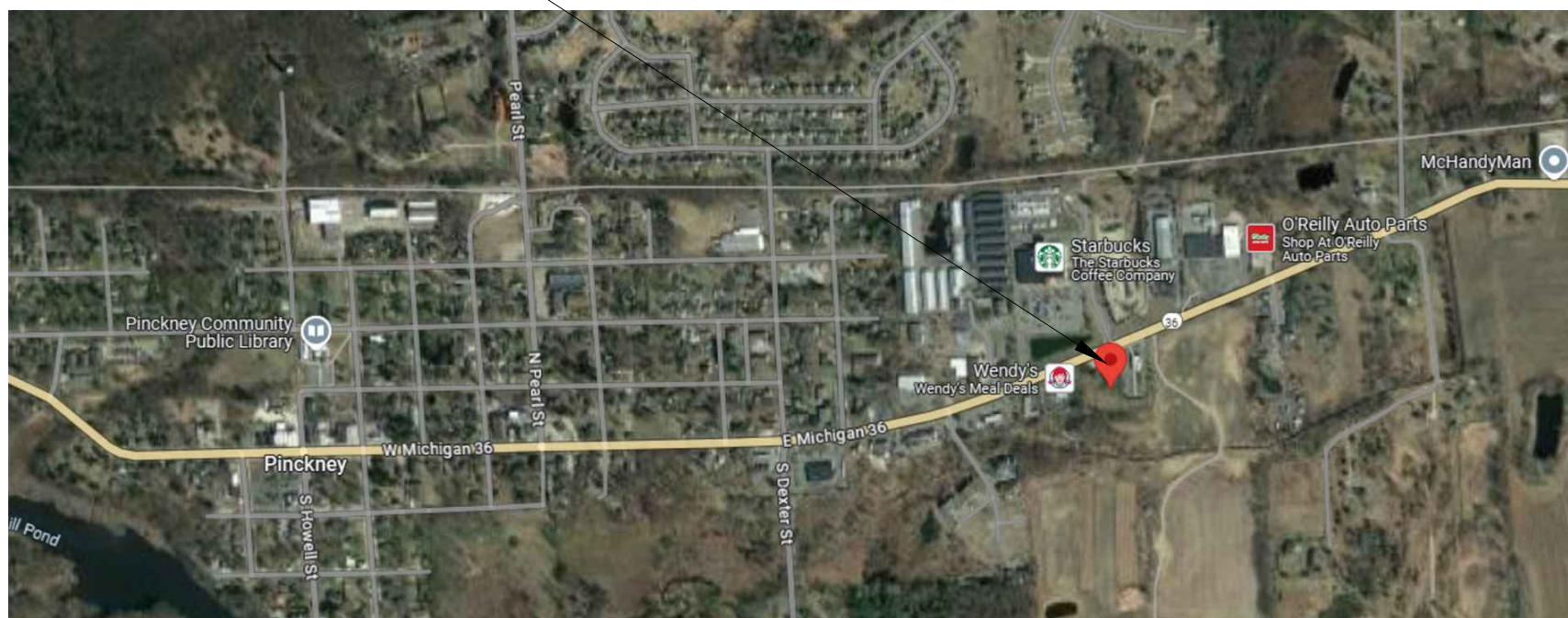
ITEM	REQUIRED	PROVIDED	SECTION
FOUNDATION PLANTING			
TREES	-	2	152.330
SHRUBS	-	17	152.330
LANDSCAPING ADJACENT TO ROADS:			
1 TREE/30FT OF FRONTAGE	91/30=3	3	152.331
5 SHRUBS/30FT OF FRONTAGE	91/30x5=15	45	152.331
LANDSCAPING OFF-STREET PARKING LOTS UNDER 50 SPACES - NOT REQUIRED	-	10	152.332

PLANT LIST

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT
MH	8	MALUS HARGOZAM	HARVEST GOLD	2"Ø	B&B
MSt	7	GLEDITSIA TRI. V. INERMIS	SUNBURST HONEY LOCUST	2"Ø	B&B
CACA	2	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	6" HT.	B&B
WB	17	BUXUS SINICA VAR. INSULARIS	WINTERGREEN BOXWOOD	2'-0" Ø	B&B
JUH	45	JUNIPERUS HORIZONTALIS	WILTONI JUNIPER	3 GAL.	POT

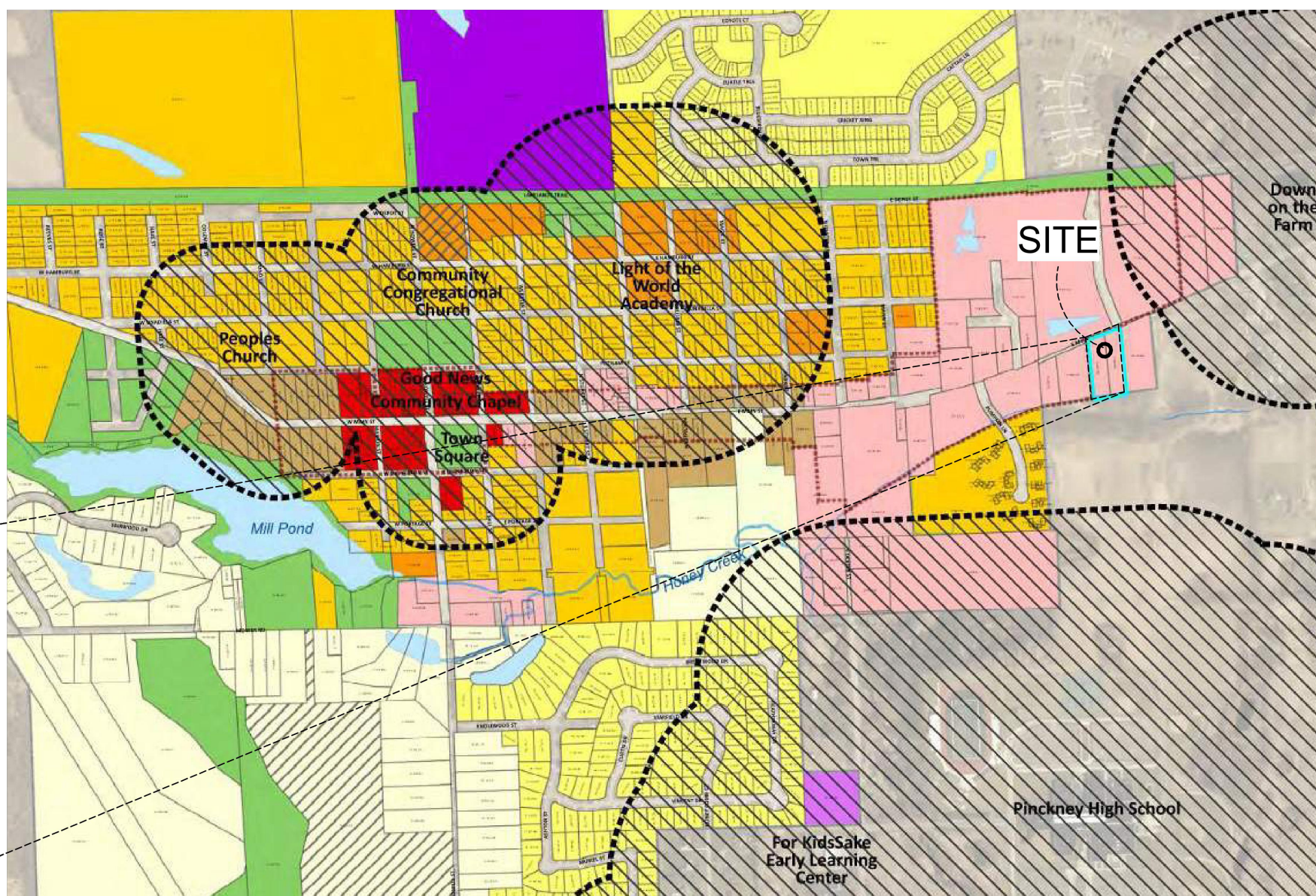
AREA TO BE SODDED OR HYDROSEEDDED

PROJECT SITE:
1268 E.M-36,
PINCKNEY, MI 48169



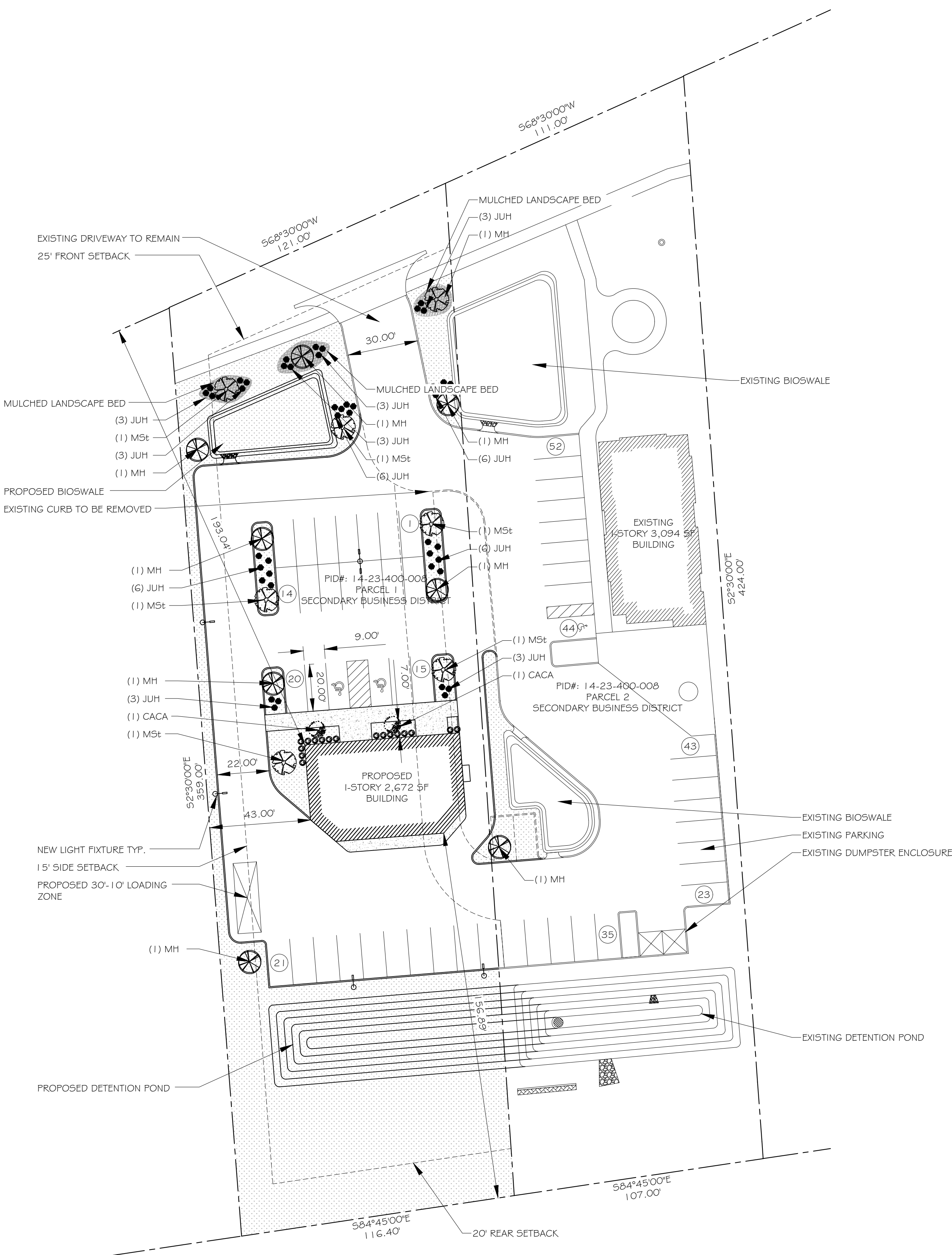
SITE LOCATION MAP

SCALE: N.T.S.



ZONING MAP

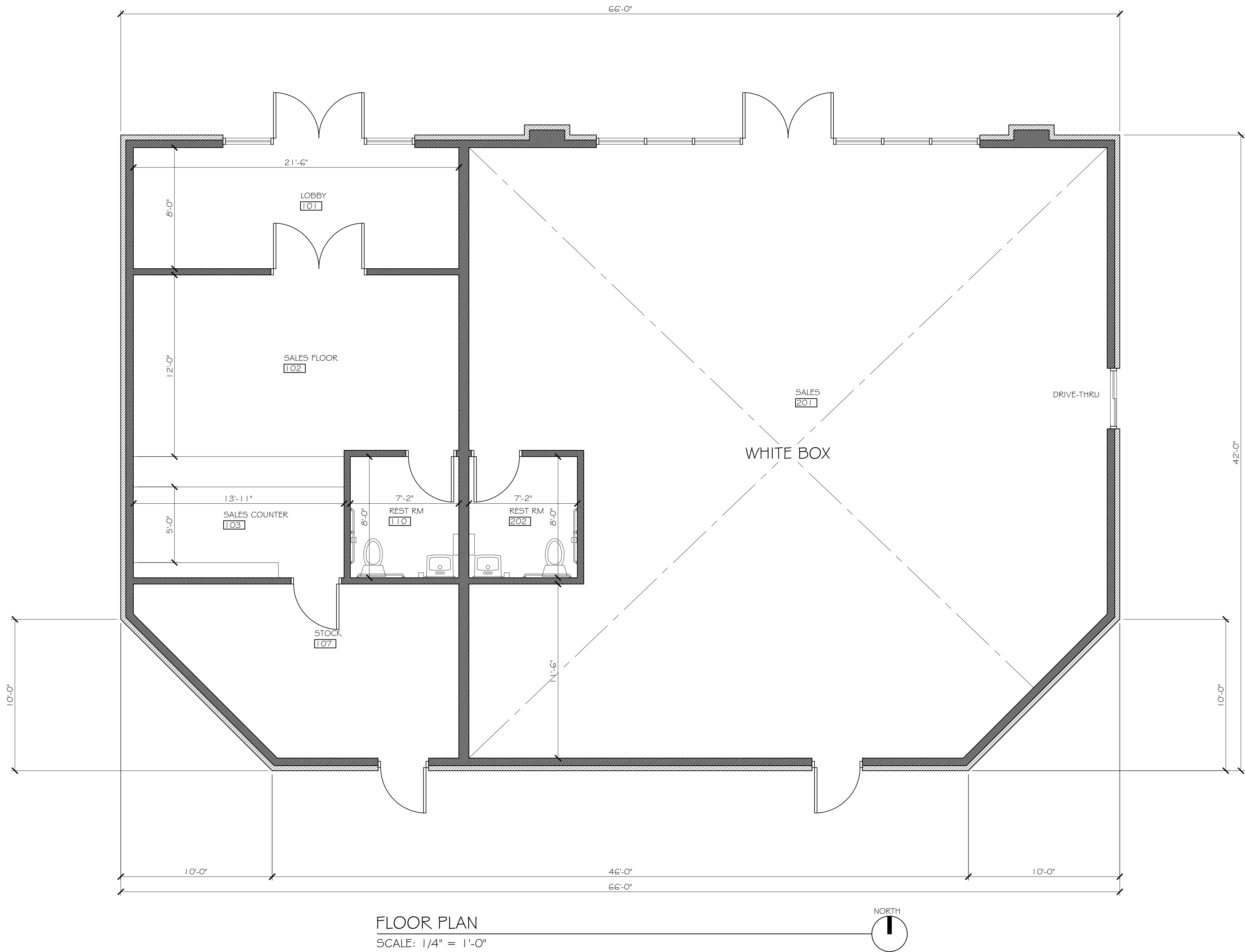
SCALE: N.T.S.



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'-0"

- GENERAL NOTES
- 1) RECEIVE CERTIFIED OR ACCEPTED EQUIPMENT DRAWINGS PRIOR TO PROCEEDING WITH AFFECTED WORK.
- 2) REVIEW DIMENSIONS SHOWN ON CONTRACT DRAWINGS, SHOP DRAWINGS, AND SUBMITTALS. REPORT INCONSISTENCIES TO THE ARCHITECT-ENGINEER AND RECEIVE CLARIFICATION PRIOR TO PROCEEDING.
- 3) CONTRACTOR TO VERIFY SIZES OF MECHANICAL EQUIPMENT, OPENINGS, CURBS, BASES, RECESSES, ANCHOR BOLTS SIZES AND LOCATIONS, AND COORDINATE BEFORE PROCEEDING WITH WORK.
- 4) SHEET NUMBERS INDICATED AT SECTIONS OR DETAILS ARE FOR CONVENIENCE ONLY AND ARE NOT INTENDED TO NECESSARILY IDENTIFY ALL CONDITIONS WHERE THE SECTION OR DETAIL MAY BE REFERENCED.
- 5) ALL GYP BOARD SCHEDULED TO BE INSTALLED IN ALL ROOMS, JANITORS CLOSETS, STORAGE ROOMS AND AREAS LOCATED WITHIN SERVICE AREA ARE TO BE MOISTURE RESISTANT U.N.O.
- 6) SEE SHEET A--- FOR WALL TYPES
- 7) SEE SHEET A--- FOR INTERIOR FINISH SCHEDULE
- 8) LOCATE HM FRAMES A MIN OF 4" OFF CORNER TO BACK OF FRAME U.N.O.
- 9) CONTRACTOR TO PROVIDE BLOCKING AT ALL MILLWORK, TELEVISION, MEDICAL EQUIPMENT, AND OTHER MISC PRODUCTS. COORDINATE LOCATION WITH OWNER.
- 10) FEC - REPRESENTS FIRE EXTINGUISHER CABINET
- 11) F.F. ELEVATION = 0'-0" = ---
- 12) SEE FOUNDATION PLANS FOR TYP. FLOOR CONTROL JOINT LAYOUTS.



BLACKSTOCK
ALESSANDRI
ASSOCIATES

ARCHITECTURE

INTERIORS

PLANNING

URBAN DESIGN

70 MACOMB PL, SUITE 220
MT. CLEMENS, MI 48043

PH: 586-468-9568
WEB: WWW.B-A2.COM

CONSULTANT:

DATE/REVISION:	REV.	ISSUE DATE
REVIEW		10/02/25
REVIEW		10/07/25
SPECIAL_LAND_USE		10/08/25

DRAWN	E.L.
CHECKED	H.B.
APPROVED	H.B.

KEY PLAN:

PROJECT:

759 EAST
PINCONNING LLC

1268 E. M-36, PINCKNEY MI,
48169

SHEET TITLE:

FLOOR PLAN

PROJECT NUMBER:
2025-078

SHEET NUMBER:

A-100

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ARCHITECTURE

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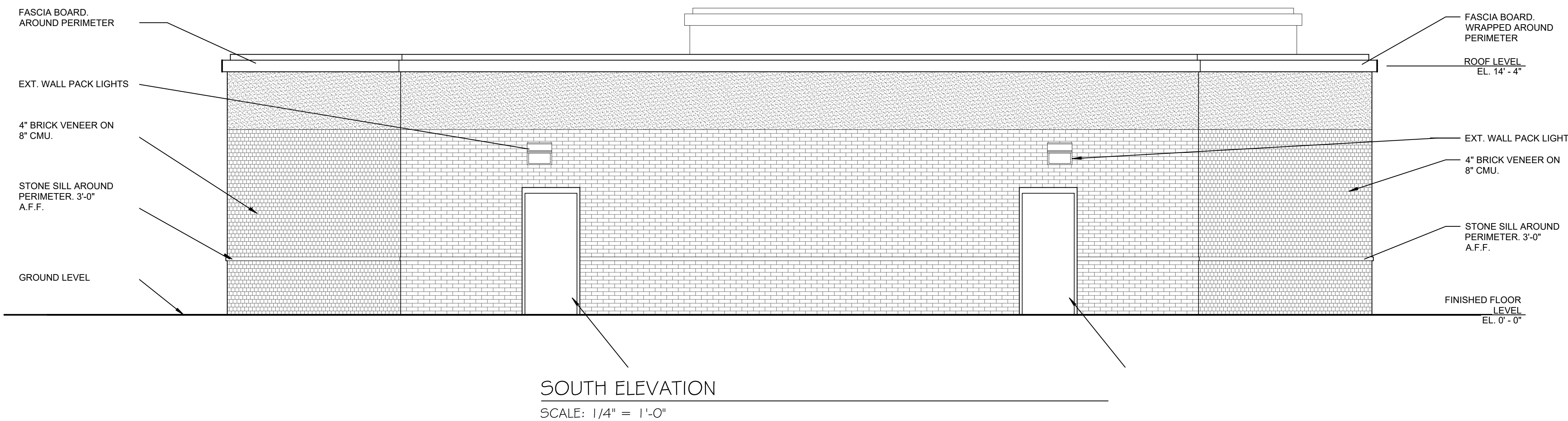
PLANNING

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70 MACOMB PL, SUITE 220
MT. CLEMENS, MI 48043

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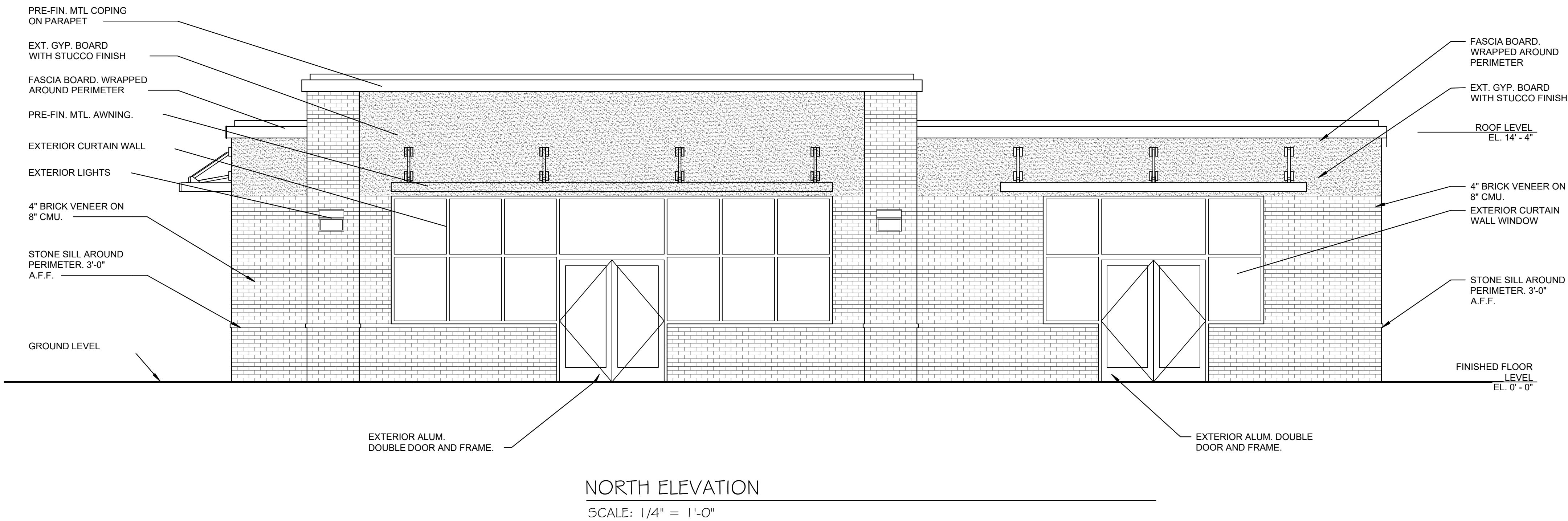
CONSULTANT:



DATE/REVISION:	REV.	ISSUE DATE
REVIEW		10/02/25
REVIEW		10/07/25
SPECIAL LAND USE		10/08/25

DRAWN	E.L.
CHECKED	H.B.
APPROVED	H.B.

KEY PLAN:



PROJECT:

**759 EAST
PINCONNING LLC**

1268 E. M-36, PINCKNEY MI,
48169

SHEET TITLE:

ELEVATIONS

PROJECT NUMBER:

2025-078

SHEET NUMBER:

A-400

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ARCHITECTURE

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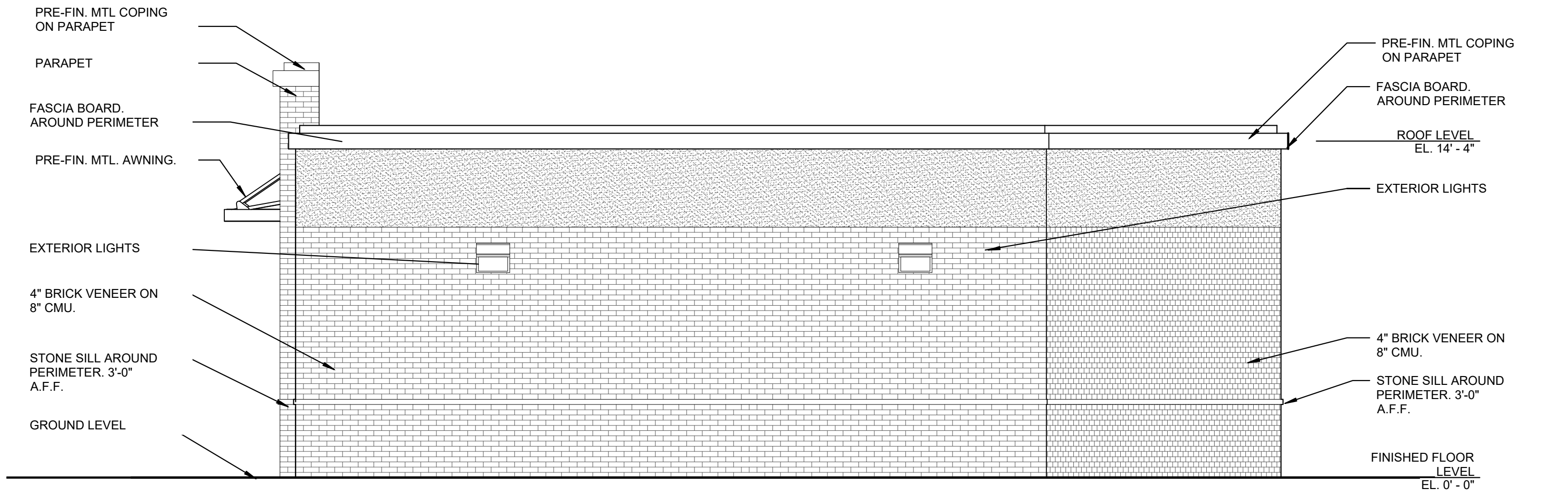
PLANNING

URBAN DESIGN

70 MACOMB PL, SUITE 220
MT. CLEMENS, MI 48043

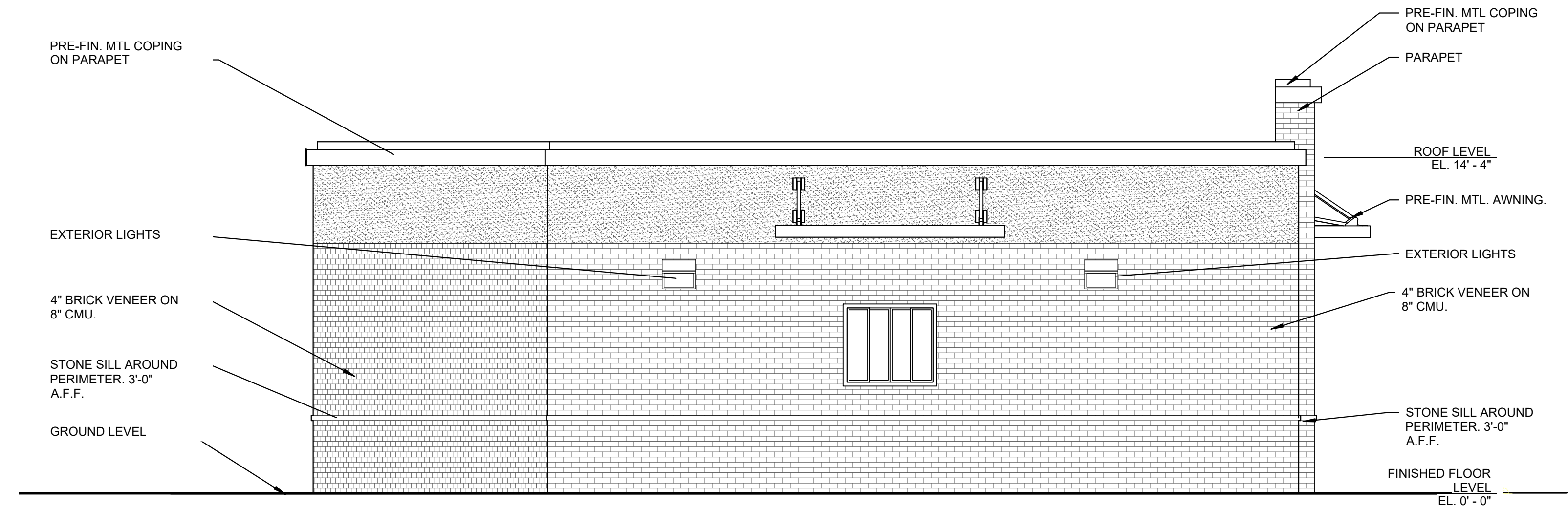
PH: 586-468-9568
WEB: WWW.B-A2.COM

CONSULTANT:



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

DATE/REVISION:	REV.	ISSUE DATE
REVIEW		10/02/25
REVIEW		10/07/25
SPECIAL_LAND_USE		10/08/25

DRAWN	E.L.
CHECKED	H.B.
APPROVED	H.B.

KEY PLAN:

PROJECT:

759 EAST
PINCONNING LLC

1268 E. M-36, PINCKNEY MI,
48169

SHEET TITLE:

ELEVATIONS

PROJECT NUMBER:
2025-078

SHEET NUMBER:

A-401

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